

# Report to Planning Committee

15<sup>th</sup> February 2022

<b>Application Reference</b>	DC/21/66305
<b>Application Received</b>	5 <sup>th</sup> November 2022
<b>Application Description</b>	Proposed development of 7 No. houses, 2 No. bungalows and 2 No. two storey apartment blocks comprising of 6 No. self-contained flats with associated parking and landscaping.
<b>Application Address</b>	Land At Hawes Lane/Stanford Drive Rowley Regis
<b>Applicant</b>	Mr Alan Martin Sandwell Metropolitan Borough Council
<b>Ward</b>	Rowley
<b>Contact Officer</b>	Mr Andrew Dean <a href="mailto:andrew_dean@sandwell.gov.uk">andrew_dean@sandwell.gov.uk</a>

## 1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:

- (i) External materials;
- (ii) Parking to be implemented and retained;
- (iii) Contaminated land;
- (iv) Finished floor levels;
- (v) Boundary treatments;
- (vi) Noise assessment and mitigation measures;



- (vii) Electric vehicle charging points;
- (viii) Renewable energy;
- (ix) Hard and soft landscaping scheme to be implemented;
- (x) Surface water drainage scheme to be implemented, retained and maintained;
- (xi) Foul sewage drainage scheme;
- (xii) External lighting scheme;
- (xiii) Method of working statement;
- (xiv) Removal of permitted development rights for enlargements;
- (xv) Employment and skills plan;
- (xvi) Refuse and cycle storage to be implemented and retained'
- (xvii) Low NOx boilers; and
- (xviii) Garages to be retained for parking.

## 2 Reasons for Recommendations

- 2.1 The development would provide much needed affordable housing of good design quality, compliant with national and local planning policy, with no undue harm to the amenities of the surrounding area or to the safety and convenience of users of the highway.

## 3 How does this deliver objectives of the Corporate Plan?

	<p>Quality homes in thriving neighbourhoods – The design of the proposal is acceptable in respect of national and local planning policy.</p>
	<p>A strong and inclusive economy</p>

## 4 Context

- 4.1 This application is being reported to your Planning Committee because 13 objections against the proposal have been received. Furthermore, Sandwell Metropolitan Borough Council is applicant and the application is major in nature.



- 4.2 To assist members with site context, a link to Google Maps is provided below:

[Land at Hawes Lane and Stanford Drive, Rowley Regis](#)

## 5 Key Considerations

- 5.1 The site is allocated for housing in the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are:-

Government policy (NPPF)  
Proposals in the Development Plan  
Planning history (including appeal decisions)  
Overlooking/loss of privacy  
Loss of light and/or outlook  
Overshadowing  
Public visual amenity  
Layout and density of building  
Design, appearance and materials  
Access, highway safety, parking and servicing  
Traffic generation

## 6. The Application Site

- 6.1 The application site is split between two parcels of land located on the northern side of Hawes Lane, Rowley Regis. The site is bisected by Stanford Drive which serves 14 residential dwellings. The character of the surrounding area is predominantly residential in nature, with a section of the larger site to the north bound by a churchyard.
- 6.2 Both parcels of the application site consist of a north to south sloping area of grassland and contain a number of mature trees in various locations.

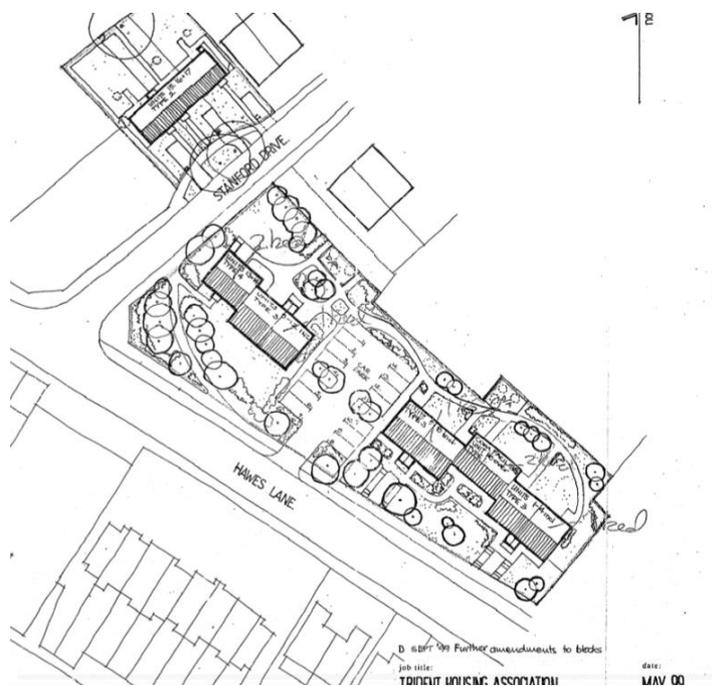


## 7. Planning History

7.1 An application for a residential development consisting of the erection of 15 flats, 3 houses and community facilities was refused planning permission by the Planning Committee under application reference DC/99/35926. This decision was contrary to officer recommendation. The reasons for refusal were as follows: -

- i) The proposed development would be situated close to the junction of Stanford Drive and Hawes Lane (B4174) and it is considered that, because of the proximity of these roads to the application site and the proposed occupants of the building, there would be detriment to the safety and convenience of users of the highway
- ii) The proposed development would detract from the residential amenity of the area.

7.2 The below image shows the proposed site layout of the refused 1999 application.



7.3 Relevant planning applications are as follows:

DC/99/35926	Erection of 15 flats, 3 houses and community facilities inc. parking and site works.	Refusal. 30.12.1999.
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## 8. Application Details

8.1 The applicant is proposing to erect 7 No. houses, 2 No. bungalows and 2 No. two storey apartment blocks comprising of 6 No. self-contained flats with associated parking and landscaping.

8.2 The development would consist of the following properties:

- 1 No. 2 bed dwelling with an internal floor area of 72.8m<sup>2</sup>.
- 2 No. 3 bed dwellings with an internal floor area of 85.8m<sup>2</sup>.
- 1 No. 4 bed dwellings with an internal floor area of 115.3m<sup>2</sup>.
- 2 No. 2 bed dwellings with an internal floor area of 72.8m<sup>2</sup>.
- 2 No. bungalows with an internal floor area of 72.8m<sup>2</sup>.
- 1 No. 3 bed dwelling with an internal floor area of 105.8m<sup>2</sup>.
- 6 No. 1 bed flats with four units having an internal floor area of 51.2m<sup>2</sup> and 2 units having an internal floor area of 52.6m<sup>2</sup>.

8.3 Each dwelling would have private amenity space in the form of rear garden areas with the proposed flats having a communal drying area and courtyard garden.

## 9. Publicity

9.1 The application has been publicised by neighbour notification letter and press notice with 14 objections to the application being received.



## 9.2 Objections

Objections have been received on the following grounds:

- i) Highway safety grounds including issues regarding vehicle parking;
- ii) Loss of wildlife and the grassed area is used by residents for dog walking and as a children's play area;
- iii) The submitted Design and Access Statement contains errors including the incorrect site address;
- iv) Drainage concerns;
- v) The property at the rear of 40 Hawes Lane is on a higher level and would result in a loss of privacy;
- vi) The proposal would result in a loss of light and overshadowing caused by the proposal; and
- vii) The use of the properties for social housing has the potential to increase anti-social behaviour in the area.

Immaterial objections have been raised regarding loss of property value, loss of view, loss of area appeal and water pressure issues.

## 9.3 Responses to objections

I respond to the objector's comments in turn:

- (i) See material considerations section 13.4.
- (ii) The site in question is not allocated as public open space or a wildlife corridor. The site is allocated for residential development in the Development Plan. A number of mature trees on the site would remain with additional tree planting proposed to replace those which would be lost.
- (iii) This was an error and has been corrected.
- (iv) The submitted surface water drainage scheme has been assessed by the Lead Local Flood Authority who have no objections to the drainage scheme. A condition for foul drainage to be provided



before commencement on site has been included within the recommendation.

- (v) It is noted that the dwellings to the rear of No. 38 and 40 Hawes Lane would be located on a higher ground level due to the levels change of Stanford Drive. However, these properties have been designed to be bungalows which step up the street. These properties would not face directly onto the properties on Hawes Lane. Rear amenity space of the bungalows would contain a 1.8m close boarded fences to the garden area. Furthermore, the dwellings achieve the required 14 metre separation distance required between a windowed rear elevation and a gable side wall. The only window in this elevation would be a shower room window. On this basis, I do not consider a significant loss of privacy would occur.
- (vi) See material considerations section 13.6.
- (vii) Anti-social behaviour by potential residents is a matter for the police and landlord.

## 10. Consultee responses

10.1 **Planning Policy** – No objection. The application is on land that is allocated for residential development in the Development Plan, and previous development plans (SAD H1 Housing Allocations). The proposal meets the requirements of HOU2 Housing Density type and Accessibility for a range of types of dwellings. SAD H3 Affordable Housing also applies, and its requirements are met by the proposal.

10.2 **Highways** – No objections. Further comments from Highways in response to the objectors' comments are as follows. The trip rates associated to a small residential development such as this would not generate significant levels of traffic for Highways to consider that the impact on the highway network would be classed as severe. Stanford Drive benefits from a grit bin to assist residents during periods of inclement weather such as ice and snow. Existing properties 38/40 Hawes Lane have vehicular access from Hawes Lane, as do residential dwellings on the opposite side of Hawes Lane. The parking courts



proposed for this development have been designed to allow for vehicles to enter, turn and leave in a forward gear so that driver visibility is improved (no reversing onto the Hawes Lane). The numbers and sizes of off-street parking spaces meet with the standards detailed in the residential developers' guide. Highways have requested an alternative boundary treatment at the junction of Hawes Lane and Stanford Drive (plots 3 and 4) due to concerns the 1 metre high railings proposed could create a solid visual barrier, which in turn would reduce visibility. A condition for boundary details has been included within the recommendation.

- 10.3 **Public Health (Air Quality)** – No objections subject to conditions for electric vehicle charging points and low NOx boilers being used.
- 10.4 **Public Health (Contaminated Land)** – No objections subject to a contaminated land condition.
- 10.5 **Public Health (Air Pollution and Noise)** – No objection subject to a condition for a noise assessment being undertaken and mitigation measures being submitted and approved. A further condition for the submission of a working on site method statement to include the hours of working to be 08.00 to 17.30 Monday to Friday, 09.00 to 13.00 Saturdays with no working on Sundays or Bank Holidays has been included within the recommendation.
- 10.6 **West Midlands Police** – No objection.
- 10.7 **Lead Local Flood Authority** – No objection to the submitted surface water drainage scheme.
- 10.8 **Severn Trent** – No objection subject to conditions for foul and surface water drainage.
- 10.9 **Urban Design Officer** – No objection to the proposed site layout, scale and boundary/landscape details. An amended plan has been received to include hit/miss string detailing for the bungalows alongside the front



door. Clarification on bin storage for the apartments was also sought confirming one bin store would contain euro bins and one wheelie bins.

## 11. National Planning Policy

- 11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.
- 11.2 Taking into account the views of the Council's Urban Design officer, I am of the opinion that the scheme is of a good design, in accordance with paragraph 124 of the NPPF.
- 11.3 In respect of paragraphs 128-130 of the NPPF, the Urban Design officer raises no objections to the scheme. The development would assimilate with the overall form and layout of the site's surroundings.

## 12. Local Planning Policy

- 12.1 The following policies of the council's Development Plan are relevant:

HOU2: Housing Density type and Accessibility

ENV3: Design Quality

ENV5: Flood Risk, Sustainable Drainage System and Urban Heat Island Effect

ENV7: Renewable Energy

ENV8: Air Quality

TRAN4: Creating Coherent Networks for Cycling and Walking.

SAD H1: Housing Allocations.

SAD H3: Affordable Housing

SAD EOS9: Urban Design Principles

SAD HE5: Archaeology & Development Proposals.

SAD EMP2: Training and Recruitment.



- 12.2 The site is allocated for residential development in the Development Plan. The proposal therefore complies with SAD H1: Housing Allocations.
- 12.3 HOU2 identifies the need for a range of types and sizes of accommodation within the borough and accessibility in terms of sustainable transport to residential services. The proposed site layout confirms the development would contain a mixture of dwelling sizes and types. The proposal is also within proximity to two bus stops on Hawes Lane providing sustainable transport links.
- 12.4 ENV3 and SAD EOS9 refers to well designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable with no concerns being raised from Urban Design.
- 12.5 ENV5 seeks the incorporation of sustainable drainage systems to assist with reducing the impact of flooding and surface run-off. The Lead Local Flood Authority has raised no objections to the application.
- 12.6 A condition to ensure that at least 10% of the estimated residual energy demand of the development is generated by energy from renewable sources has been included within the recommendation and therefore accords with Policy ENV7.
- 12.7 ENV8 refers to mitigation measures to offset air quality issues. In this instance, conditions for electric vehicle charging points and low NOx boilers to be provided have been recommended.
- 12.8 TRAN4 requires scheme to be well connected to aid cycling and walking. The proposal includes cycle storage for the two apartment buildings.
- 12.9 SAD H3 sets out the requirement of 25% affordable housing. As the applicant is the local authority and the proposal is to provide social housing. The requirement of this policy has been achieved.



12.10 The submitted archaeological desk-based assessment meets the requirements of SAD Policy HE5 Archaeology & Development Proposals.

12.11 SAD EMP2 requires large employment generating schemes to provide opportunities for training and recruitment. This has been conditioned to secure these opportunities.

### 13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### 13.2 Proposals in the Development Plan

The site is allocated for housing. The proposal therefore accords with the site allocation.

#### 13.3 Planning history (including appeal decisions)

It is noted that a previous application for a residential development of 15 flats, 3 houses and community facilities including parking and site works was refused planning permission under application reference DC/99/35926. The planning committee at the time felt this proposal would impact on highway safety and the development would harm public visual amenity. The planning officer had recommended the application for approval subject to conditions. The design and layout of the current application is materially different to the refused application.

#### 13.4 Access, highway safety, parking, servicing and Traffic generation

The Head of Highways has reviewed the proposal and raised no objections to the application. The current application differs from the previously refused application in that 14 apartments were proposed to be accessed from Hawes Lane and 3 houses from Stanford Drive. The



current application is proposing three smaller accesses from Hawes Lane with one serving two dwellings and two serving three apartments each. Vehicles using these parking areas would be able to enter and leave in forward gear. The remainder of the properties would be accessed from Stanford Drive and would therefore use the existing junction. It should also be noted that paragraph 111 of the National Planning Policy Framework states “Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe”. Taking into consideration the Head of Highways has raised no objections to this application, I do not consider the proposed impact of the development on highway safety to be severe. In terms of parking space allocation, the development has been designed to accord with the council’s adopted off street car parking requirements of Appendix 3 of the Revised Residential Design Guide SPD. This requirement is as follows:

- 1 to 2 bed dwellings – 1 dedicated off street parking space.
- 3 to 4 bed dwellings – 2 dedicated off street parking spaces.

### 13.5 Loss of light and/or outlook, Overshadowing and loss of privacy.

In terms of properties located on Stanford Drive, the proposed development is located on a lower ground level than these dwellings and no breach of the 45-degree code line would take place from habitable rooms of these properties. I am therefore satisfied no significant loss of light, outlook, overshadowing or privacy would occur. In terms of No. 38 and 40 Hawes Lane, the proposed site layout includes two dwellings to the rear of these properties which would be located on a higher ground level due to the levels change of Stanford Drive. However, these properties have been designed to be bungalows in design (plots 1 and 2) which step up the street. These dwellings would not face directly onto the properties on Hawes Lane and private rear amenity space would be screened by 1.8m close boarded fence. Furthermore, the dwellings achieve the required 14 metre separation distance required between a windowed rear elevation and a side facing gable wall. The only window



proposed in this side elevation would serve a shower room. On this basis, I do not consider a significant loss of privacy would occur. No breach of the 45-degree code would take place from the front and rear habitable rooms of No. 38 Hawes Lane and Plot 3. It is noted No.38 has a side facing window serving a non-habitable room on the boundary with the application site. This is within a single storey side extension which contains doors to the front and rear. Plot 3 has been designed to be set off this elevation by 4.34 metres to reduce impact. A car parking space for Plot 3 would be located in close proximity to this window. However, as members of the public can currently walk directly past this window across the grassed area, I do not consider a significant loss of privacy would occur. On the basis of the above, I do not consider a significant loss of light and/or outlook, overshadowing or privacy would occur to neighbouring properties to warrant refusal of this application.

### 13.6 Public visual amenity

It is noted that the redevelopment of the site would result in the loss of a grassed area. However, as stated above the site is not allocated for public open space purposes and instead has been identified as a housing site within the Development Plan. The design of the proposed dwellings is acceptable in appearance and scale and would complement the surrounding area which contains a mixture of property types and styles. Trees lost as a result of the development would be compensated for by a landscaping scheme ensured by condition which would further enhance the development within the street scene. The large trees to be retained on site would be protected by root protection measures.

### 13.7 Layout and density of building

Urban Design have raised no objections to the application subject to minor design amendments. The proposed development complies with the minimum standards for internal and external amenity space as identified within the councils Revised Residential Design Guide SPD 2014. The appearance and layout of the scheme is therefore satisfactory, and the scheme meets the aspirations of design policy.



## 13.8 Design, appearance and materials

The design and appearance of the proposed development is acceptable with the properties predominantly being two storeys in height and containing a mixture of designs. The development therefore complies with design policies ENV3 (Design Quality) of the Black Country Core Strategy and SAD EOS9 (Urban Design Principles) of the Site Allocations and Delivery Development Plan Document. An external materials condition has been included within the recommendation.

## 14 Alternative Options

14.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

## 15 Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.

## 16. Appendices

Site Plan



## Context Plan

00 XX AG(04) 01 REV C

00 XX AG(04) 02

00 XX AG(06) 01

00 XX AG(06) 02

00 XX AG(06) 03

00XXL-A(93)05 S2

00XXL-A(93)06 S2

00XXL-A(93)07 S2

00XXL-A(93)08 S2

5012404 RDG XX ST PL C 0001 REV P5

5012404 RDG XX ST PL C 0200 REV P1

FL XX AG(04) 01

FL XX AG(04) 02

FL XX AG(04) 06

FL XX AG(05) 01

FL XX AG(05) 08

FR XX AG(05) 02

H1 XX AG(04) 01

H1 XX AG(05) 01

H10 XX AG(04) 01

H10 XX AG(05) 01

H2 XX AG(04) 01

H2 XX AG(05) 01

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H7 XX AG(05) 01

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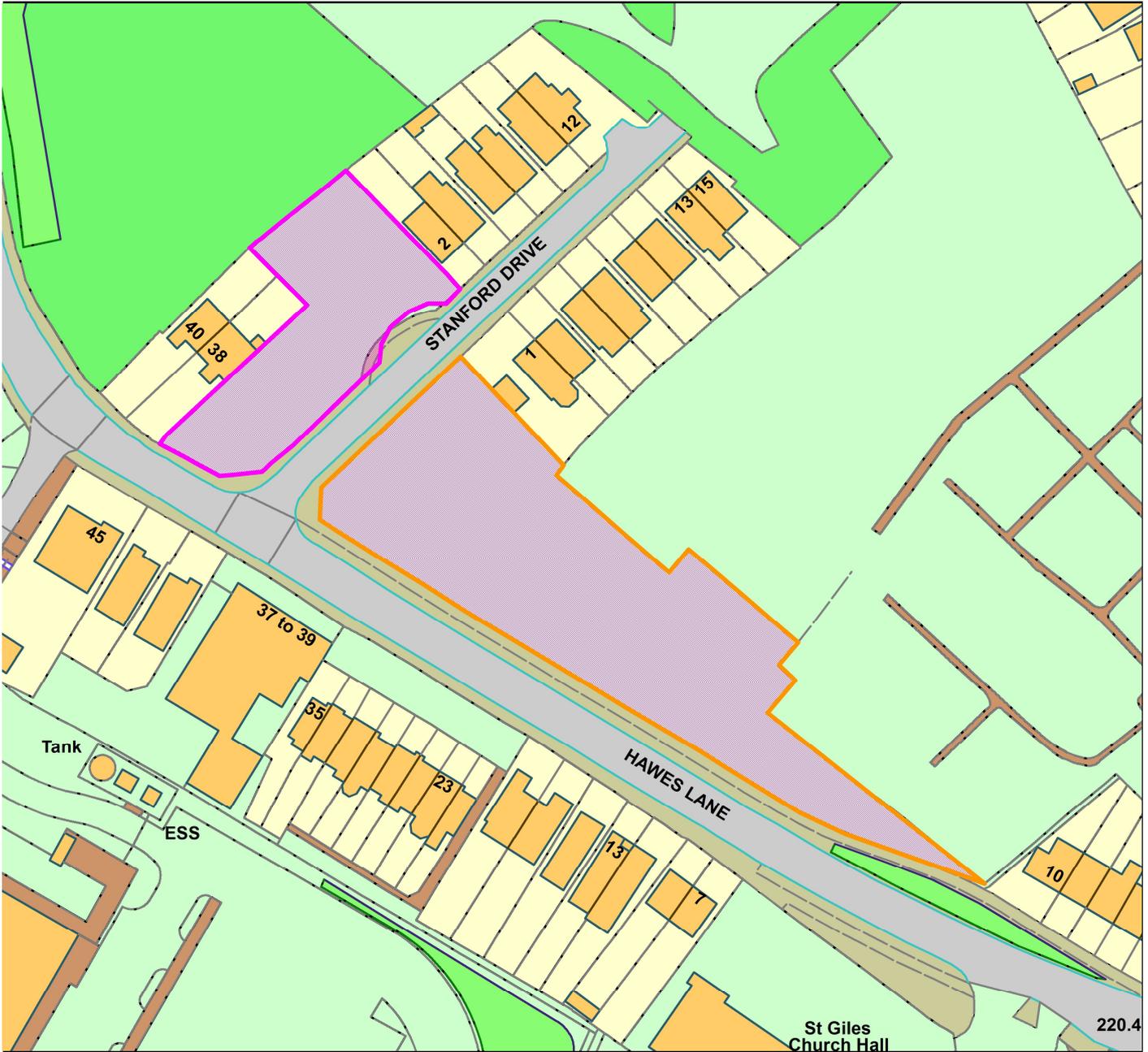
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00 XX L-G(94) 01 S0 REV P0.01



DC/21/66305

Land At Hawes Lane/Stanford Drives



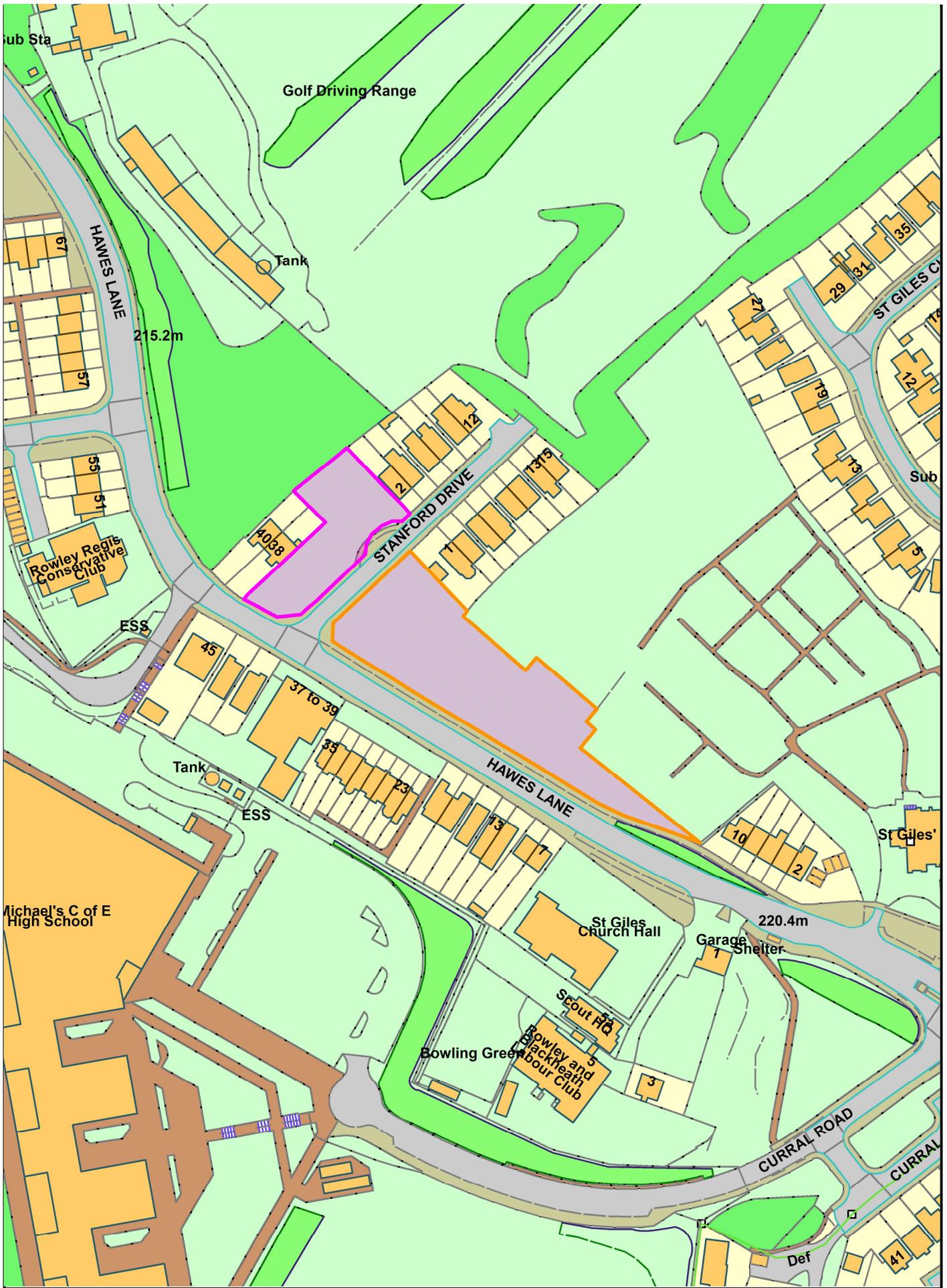
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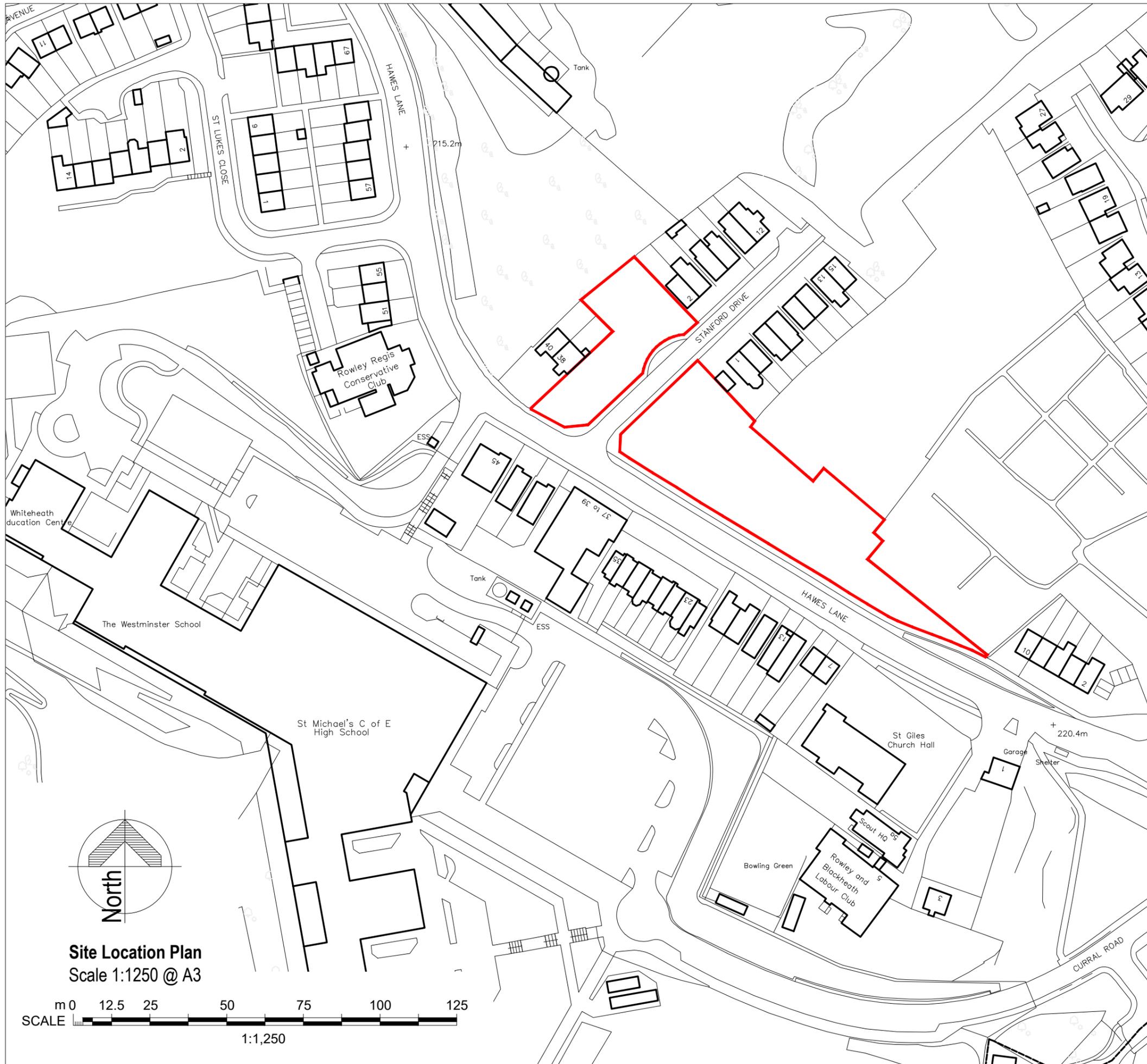
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<b>Organisation</b>	Not Set
<b>Department</b>	Not Set
<b>Comments</b>	Not Set
<b>Date</b>	01 February 2022
<b>OS Licence No</b>	





Notes  
The Contractor will be responsible for setting out the work.  
All dimensions must be obtained or checked on the site.  
Figured dimensions to be used in preference to scale.

 Site boundary

Rev	Date	Revision Note	By	Check
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Project  
**Housing Development**

Location  
**Hawes Lane, Rowley Regis**

Sheet title  
**Site Location Plan**

Status  
**Planning**

Drawn by	Date	Checked
CDL	SEP21	
Scale at A3	Scale at A5	
1250	2500	

Zone	Level	Classification	Sheet No.	Suitability	Ver/Rev
00	XX	AE(04)	01		

Job No.  
**Q19004**

Contractors Drawing No. (if required)

**Urban Design & Building Services**

Sandwell Council House  
Freeth Street, Oldbury.  
B69 3DE

Tel: 0121 569 4541





- LAYOUT LEGEND**
- Existing Trees retained
  - Existing Trees removed
  - Proposed new trees
  - Proposed access location
  - Retaining Walls
- HOUSING LEGEND**
- House Type H1, 2 Bed 4 Person Property  
GIA: 72.8m<sup>2</sup> - Quantity: 1
  - House Type H2, 3 Bed 5 Person Property  
GIA: 85.8m<sup>2</sup> - Quantity: 2
  - House Type H5, 4 Bed 6 Person Property  
GIA: 115.3m<sup>2</sup> - Quantity: 1
  - House Type H7, 2 Bed 4 Person Property  
GIA: 72.8m<sup>2</sup> - Quantity: 2
  - Bungalow Type B5, 2 Bed 3 Person Property  
GIA: 72.8m<sup>2</sup> - Quantity: 2
  - House Type H10, 3 Bed 5 Person  
GIA: 105.8m<sup>2</sup> - Quantity: 1
  - Flats Blocks:  
Right hand block  
Flat 01 - 1 bed 2 person M(4)2 - GIA 51.2m<sup>2</sup>  
Flat 02 - 1 bed 2 person M(4)2 - GIA 51.2m<sup>2</sup>  
Flat 03 - 1 bed 2 person M(4)2 - GIA 52.6m<sup>2</sup>  
Ground Floor GIFA: 110m<sup>2</sup>  
First Floor GIFA: 127m<sup>2</sup>  
Total GIFA: 237m<sup>2</sup>  
Left hand block  
Flat 01 - 1 bed 2 person M(4)2 - GIA 51.2m<sup>2</sup>  
Flat 02 - 1 bed 2 person M(4)2 - GIA 51.2m<sup>2</sup>  
Flat 03 - 1 bed 2 person M(4)2 - GIA 52.6m<sup>2</sup>  
Ground Floor GIFA: 94.4m<sup>2</sup>  
First Floor GIFA: 127m<sup>2</sup>  
Total GIFA: 221.4m<sup>2</sup>

**Notes**  
The Contractor will be responsible for setting out the work. All dimensions must be obtained or checked on the site. Figured dimensions to be used in preference to scale.

Drawing to be read in conjunction with Civil Engineer and Landscape Architects Drawings. Any discrepancies to be agreed upon before commencement of work.

Please refer to Landscape Architects Drawings for details of soft and hard landscaping both within the gardens of properties, in the private and public spaces around flats and front gardens/communal areas around houses and bungalows.

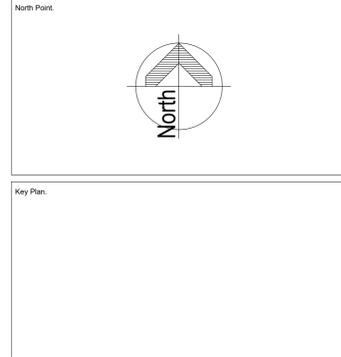
Please refer to structural engineers drawings, in conjunction with landscape architects drawings for information relating to retaining walls and boundary treatments.

Please refer to civil engineers drawings for information regard level information and all drainage requirements.

Locations of meter boxes to houses, bungalows and flats externally to be agreed.

Locations of PV panels in relation to ASHP's and external fan units to be confirmed.

Please refer to materials plan for information of site wide building finishes.



C	OCT21	Notes added to drawing	CDL	
B	OCT21	Bungalows handed and plot types updated	CDL	
A	SEP21	House types legend updated and plan updated to suit landscape architect proposed	CDL	
Rev	Date	Revision Note	By	Check



Project: Proposed Housing Development  
Location: Hawes Lane, Rowley Regis

Sheet title: Proposed Site Plan  
Status: Planning

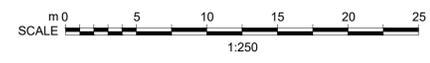
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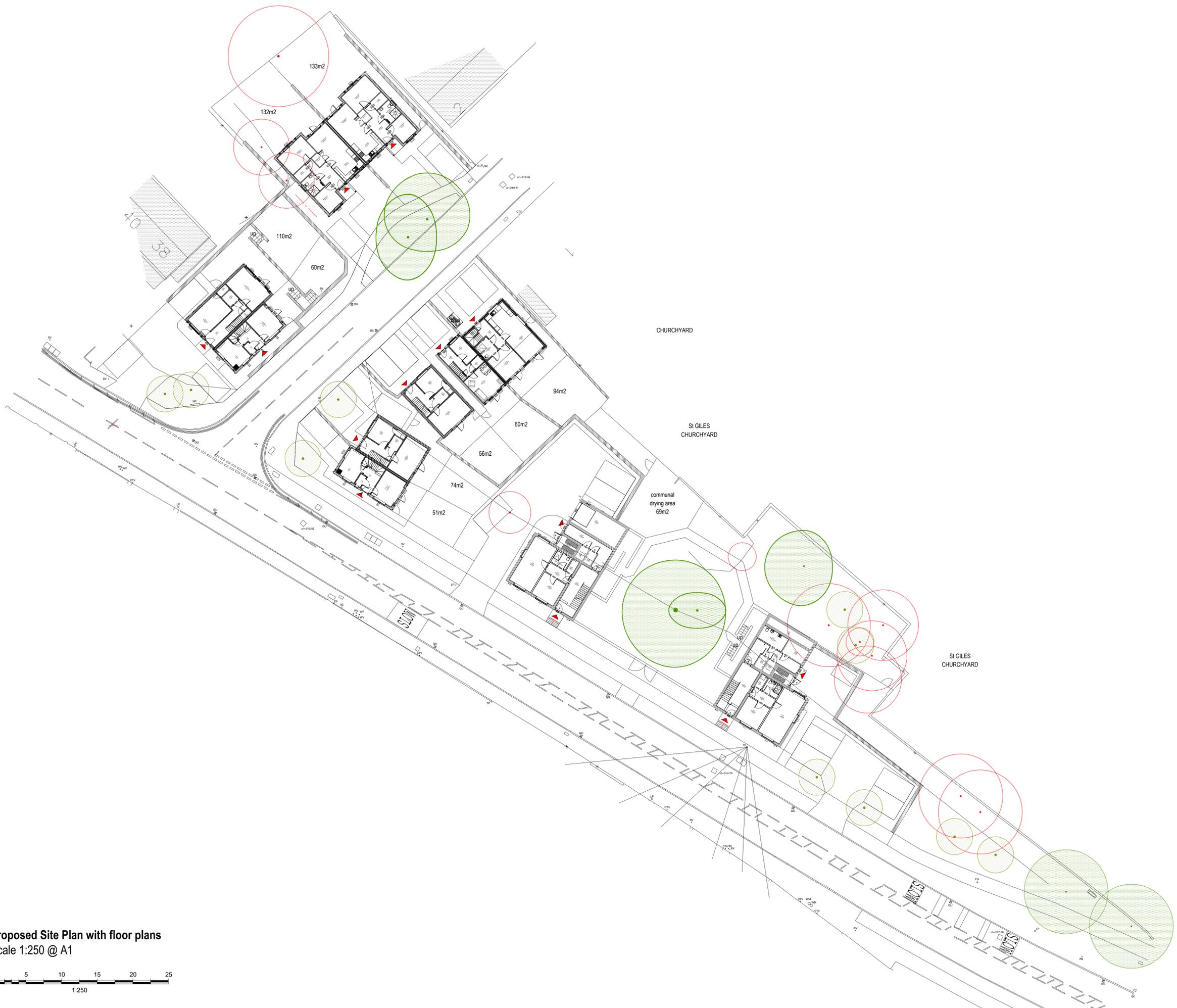
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Job No: Q19004  
Contractors Drawing No. (if required)

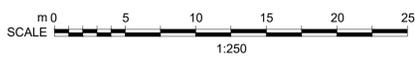
Urban Design & Building Services  
Sandwell Council House  
Froeth Street, Oldbury,  
B69 3DE  
Tel: 0121 969 4541

Proposed Site Plan  
Scale 1:250 @ A1

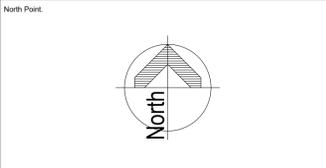




**Proposed Site Plan with floor plans**  
Scale 1:250 @ A1



**Notes**  
The Contractor will be responsible for setting out the work.  
All dimensions must be obtained or checked on the site.  
Figured dimensions to be used in preference to scale.



Key Plan.

Rev	Date	Revision Note	By	Check



**Project**  
Proposed Housing Development  
**Location**  
Hawes Lane, Rowley Regis

**Sheet title**  
Proposed Site Plan with floorplans  
**Status**  
Planning

Drawn by	Date	Checked
CDL	OCT21	

Scale at A1	Scale at A3
1:250	1:500

Zone	Level	Classification	Sheet No.	Subtable	Ver/Rev
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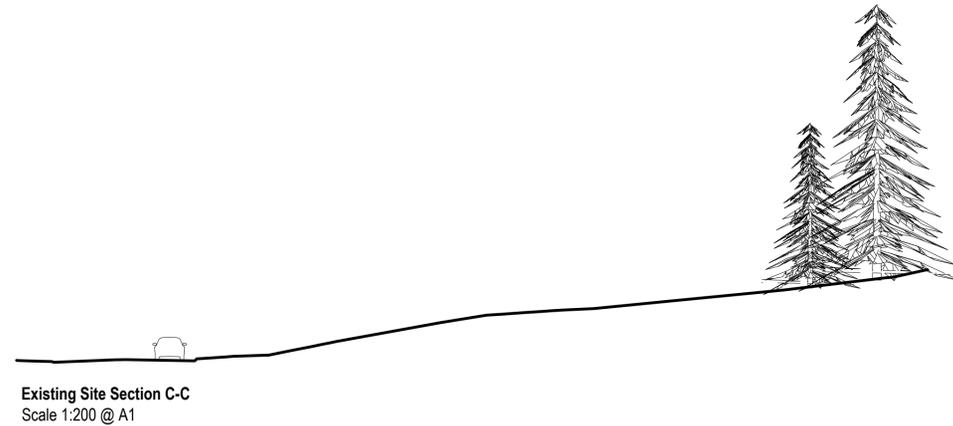
**Job No.**  
Q19004  
**Contractors Drawing No. (if required)**

**Urban Design & Building Services**  
Sandwell Council House  
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Tel: 0121 969 4541

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Existing Site Section B-B  
 Scale 1:200 @ A1



Existing Site Section C-C  
 Scale 1:200 @ A1



Proposed Site Section B-B  
 Scale 1:200 @ A1



Proposed Site Section C-C  
 Scale 1:200 @ A1



North Point.

Key Plan.

Rev	Date	Revision Note	By	Check



Project  
 Housing Development  
 Location  
 Hawes Lane, Rowley Regis

Sheet title  
 Existing and Proposed Site Sections BB & CC  
 Status  
 Planning

Drawn by	Date	Checked
CDL	SEP21	

Scale at A1	Scale at A3
1:200	1:400

Zone	Level	Classification	Sheet No.	Subsity	Ver/Rev
00	XX	AG(06)	02		

Job No.  
 Q19004  
 Contractors Drawing No. (if required)

Urban Design & Building Services  
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North Point.

Key Plan.

Rev	Date	Revision Note	By	Check



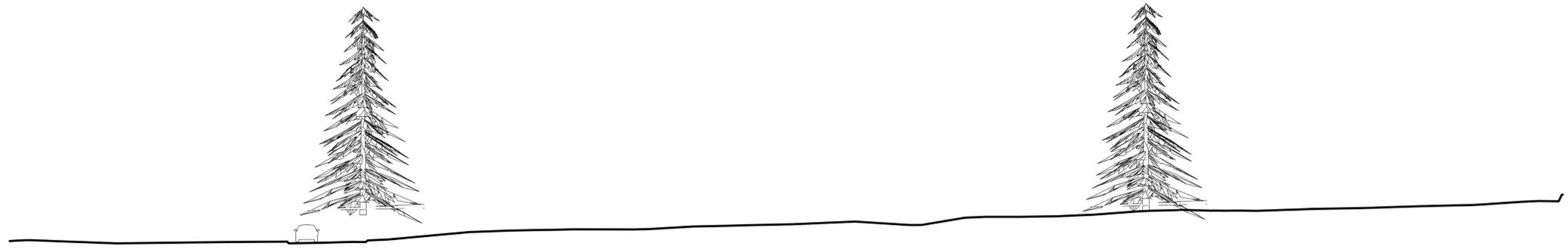
Project  
 Housing Development  
 Location  
 Hawes Lane, Rowley Regis  
 Sheet title  
 Existing and Proposed Site Section AA  
 Status  
 Planning

Drawn by	Date	Checked
CDL	SEP21	
Scale at A1	Scale at A3	
1:200	1:400	

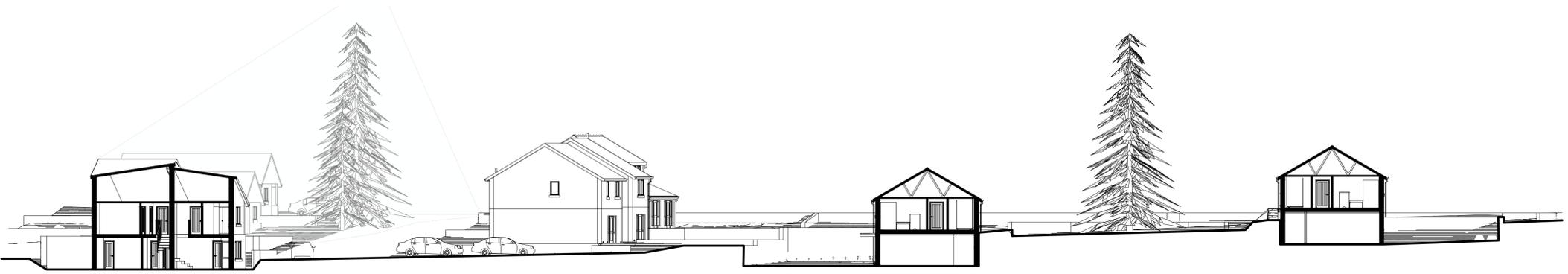
Zone	Level	Classification	Sheet No.	Subsity	Ver/Rev
00	XX	AG(06)	01		

Job No.  
 Q19004  
 Contractors Drawing No. (if required)

Urban Design & Building Services  
 Sandwell Council House  
 Fresh Street, Oldbury,  
 B69 3DE  
 Tel: 0121 989 4541

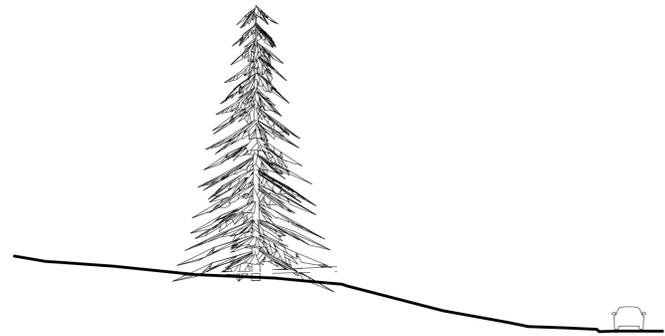
Existing Site Section A-A  
 Scale 1:200 @ A1



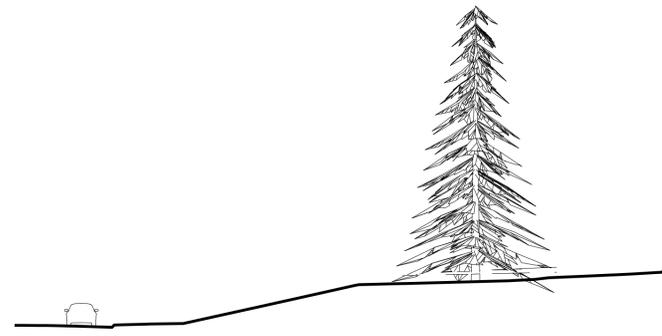
Proposed Site Section A-A  
 Scale 1:200 @ A1



Notes  
 The Contractor will be responsible for setting out the work.  
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 Figured dimensions to be used in preference to scale.



Existing Site Section D-D  
 Scale 1:200 @ A1



Existing Site Section E-E  
 Scale 1:200 @ A1



Proposed Site Section D-D  
 Scale 1:200 @ A1



Proposed Site Section E-E  
 Scale 1:200 @ A1



North Point.

Key Plan.

Rev	Date	Revision Note	By	Check



Project  
 Housing Development  
 Location  
 Hawes Lane, Rowley Regis

Sheet title  
 Existing and Proposed Site Sections DD & EE

Status  
 Planning

Drawn by	Date	Checked
CDL	SEP21	
Scale at A1	Scale at A3	
1:200	1:400	

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
00	XX	AG(06)	03		

Job No.  
 Q19004

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 Tel: 0121 969 4541



Notes  
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 Figured dimensions to be used in preference to scale.

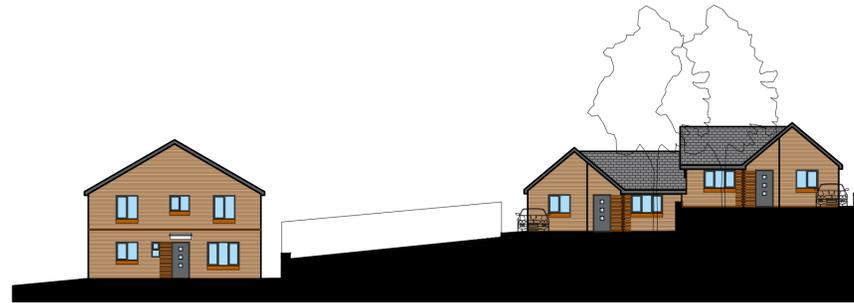
this drawing is indicative of material in context only. This drawing should be read in conjunction with the civil engineers drawing for level information and the landscape architects drawings for fencing finishes



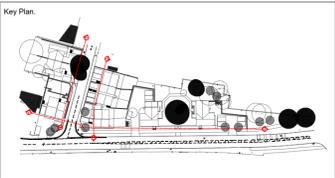
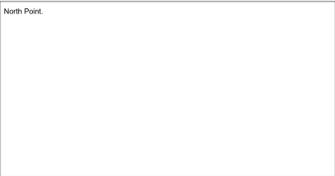
Hawes Lane Elevation  
 Scale 1:200 @ A1



Stanford Drive Elevation 03  
 Scale 1:200 @ A1



Stanford Drive Elevation 02  
 Scale 1:200 @ A1



Rev	Date	Revision Note	By	Check



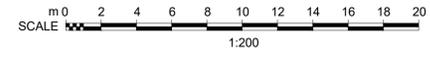
Project  
**Proposed Housing Development**  
 Location  
**Hawes Lane, Rowley Regis**

Sheet title  
**Proposed Site Elevations**  
 Status  
**Planning**

Drawn by	Date	Checked
CDL	SEP21	
Scale at A1	Scale at A3	
1:250	1:500	

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
00	XX	AG(05)	01		C

Job No:  
**Q19004**  
 Contractors Drawing No. (if required)



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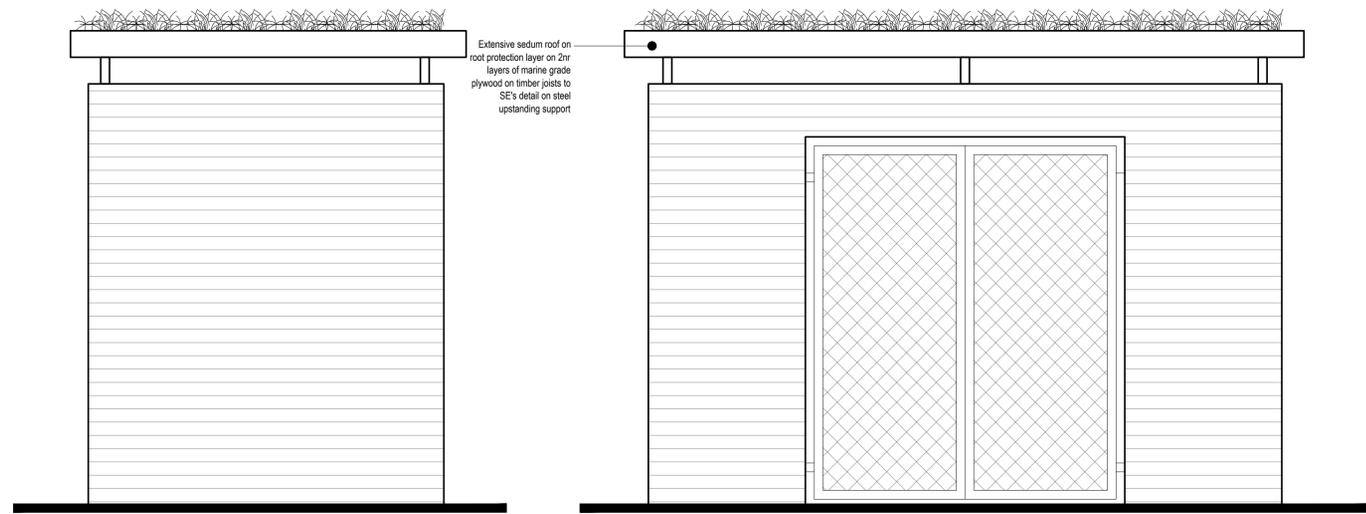






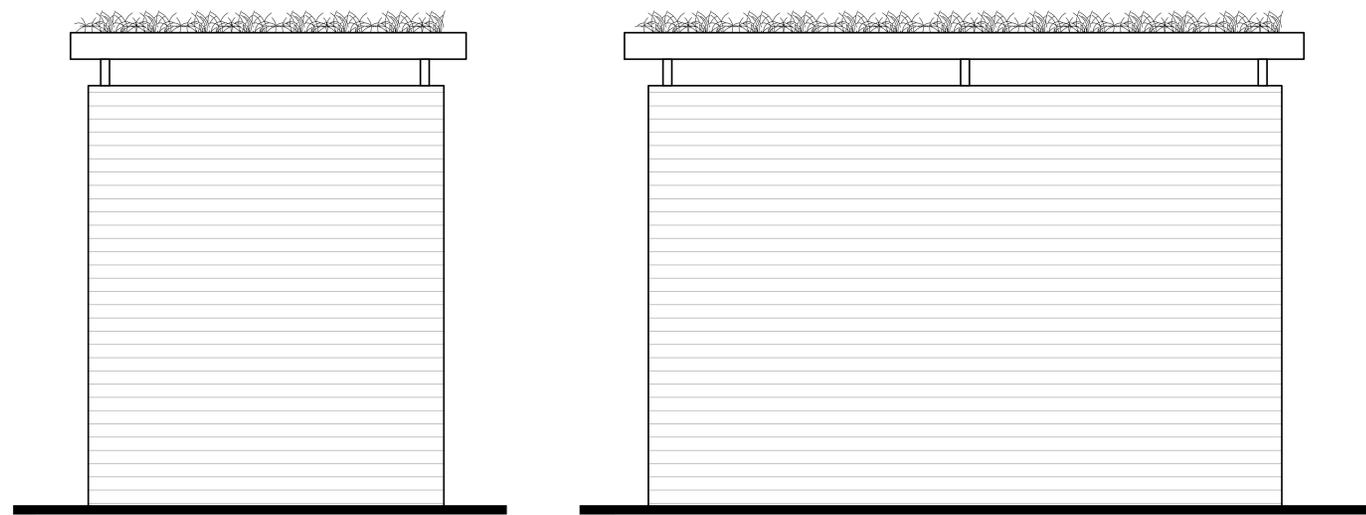


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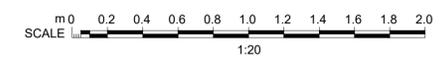
Elevation 01  
 Scale 1:20

Elevation 02  
 Scale 1:20



Elevation 03  
 Scale 1:20

Elevation 04  
 Scale 1:20



North Point.

Key Plan.

Rev	Date	Revision Note	By	Check



Project  
 New Housing Development  
 Location  
 Hawes Lane, Rowley Regis

Sheet title  
 Bin Store Elevations

Status  
 Planning

Drawn by	Date	Checked
CDL	NOV21	
Scale at A1 1:20	Scale at A3 1:40	

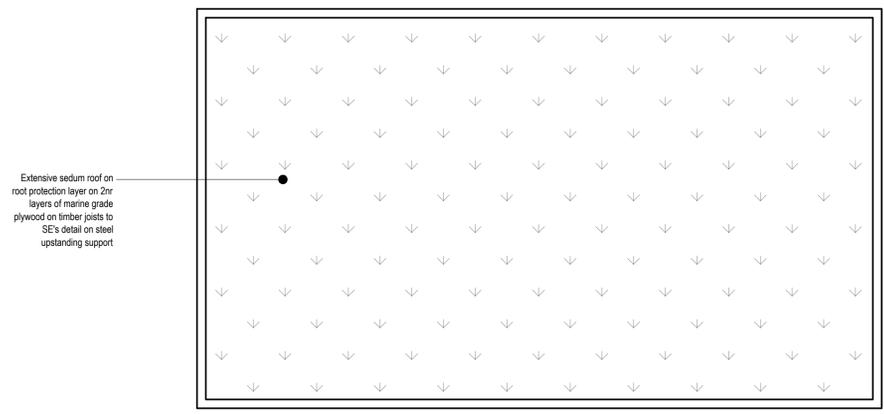
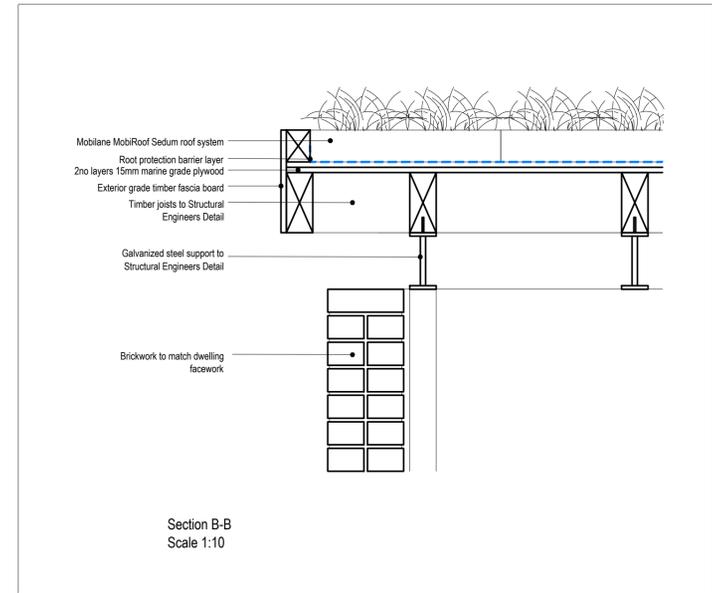
Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
FL	XX	AG(05)	08		

Job No.  
 Q19004

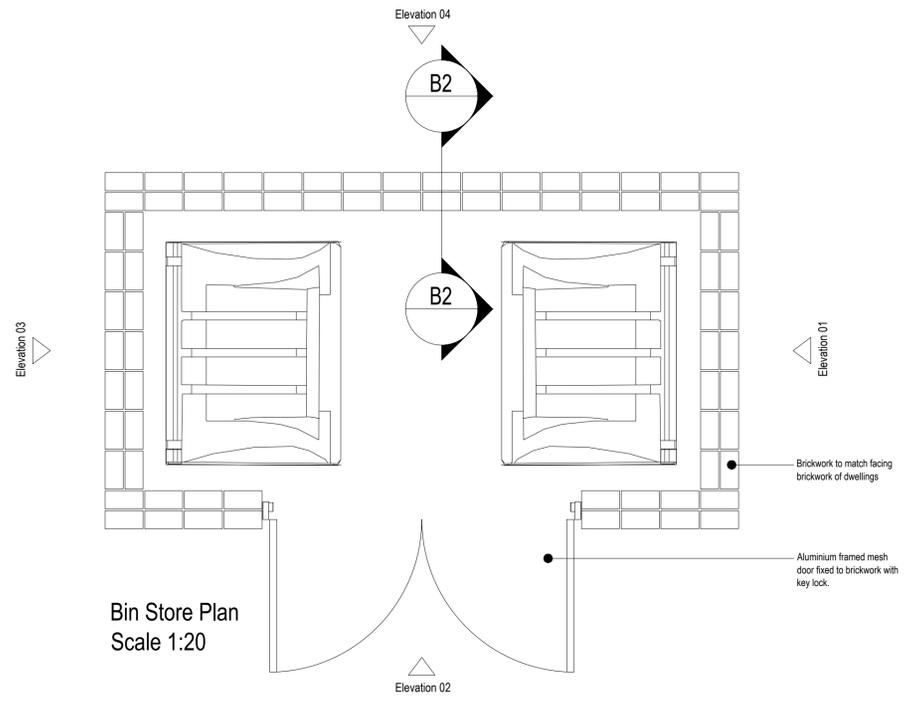
Urban Design & Building Services  
 Sandwell Council House  
 Freeth Street, Oldbury,  
 B69 3DE  
 Tel: 0121 969 4541



Notes  
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 Figured dimensions to be used in preference to scale.



Bin Store Roof Plan  
 Scale 1:20



North Point.

Key Plan.

Rev	Date	Revision Note	By	Check



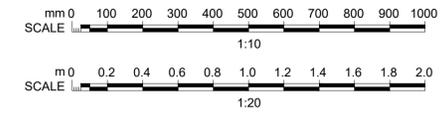
Project  
**New Housing Development**  
 Location  
 Hawes Lane, Rowley Regis

Sheet title  
**Bin Store Plans**  
 Status  
**Planning**

Drawn by	Date	Checked
CDL	NOV21	
Scale at A1	Scale at A3	
Varies		

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
FL	XX	AG(04)	06		

Job No.  
**Q19004**  
 Contractors Drawing No. (if required)



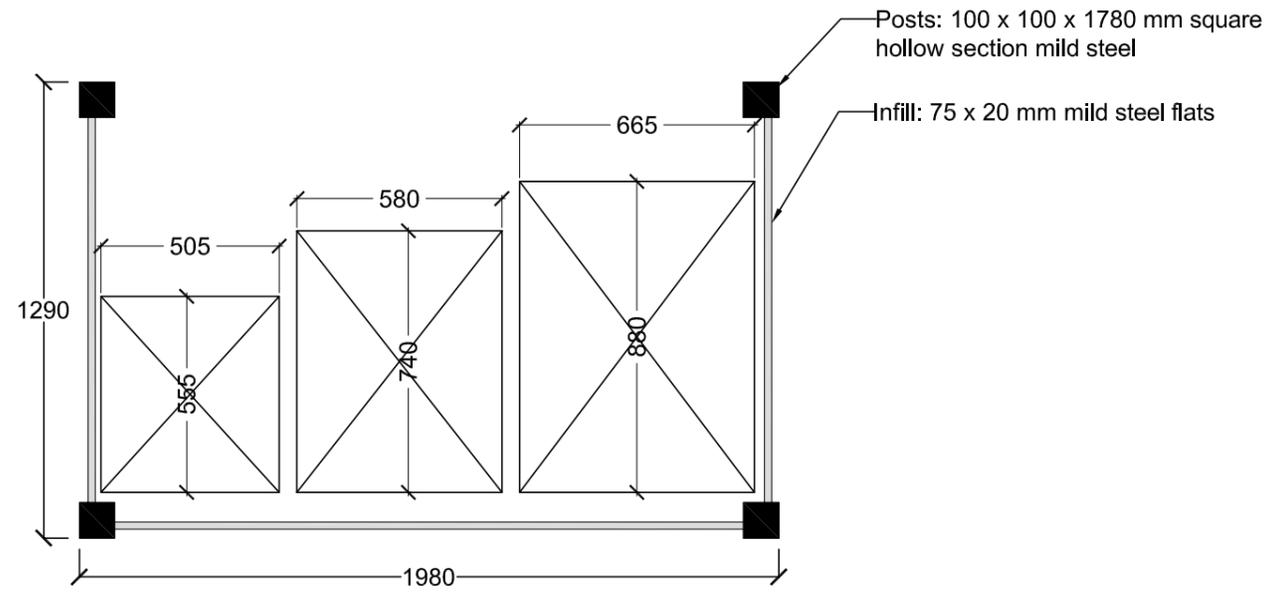
**Urban Design & Building Services**  
 Sandwell Council House  
 Freeth Street, Oldbury,  
 B69 3DE  
 Tel: 0121 969 4541

DETAIL - STEEL SLATTED BIN STORE WITH BINS, PLOTS 1 TO 9  
Scale 1:20

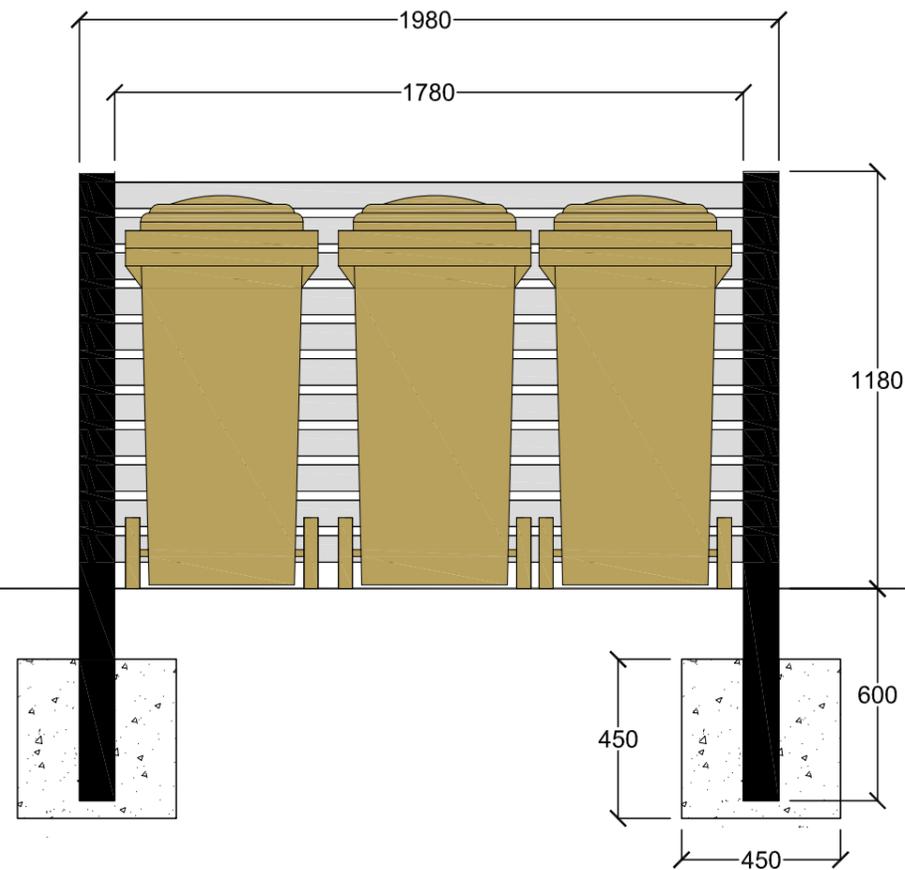
Notes:  
Binstores to be mild steel, hot dip galvanised and polyester powder coated.

Notes  
The Contractor will be responsible for setting out the work.  
All dimensions must be obtained or checked on the site.  
Figured dimensions to be used in preference to scale.

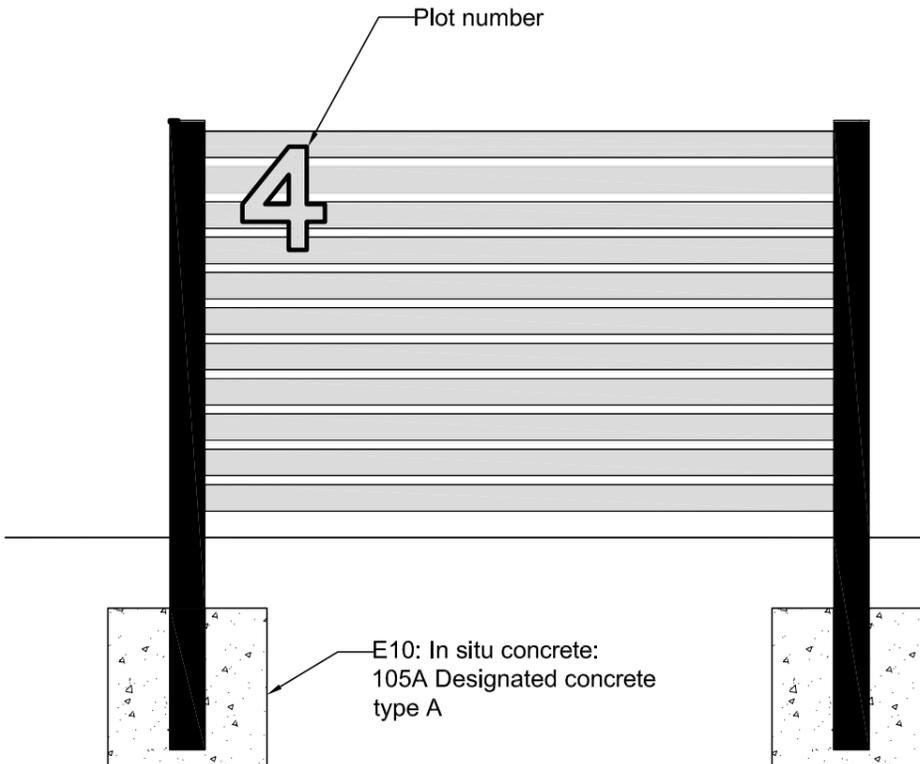
Plan View



Internal Elevation



Front Elevation



Rev	Date	Revision Note	By	Check
-----	------	---------------	----	-------



Project  
Proposed housing  
Location  
Hawes Lane  
Rowley Regis  
Sheet title  
Details: Individual bin stores

Status  
PLANNING

Drawn by	Date	Checked
HH	10-11-21	
Scale at A3	Scale at A5	
1:20		

Zone	Level	Classification	Sheet No.	Suitability	Ver/Rev
00	XX	L-A(93)	08	S2	

Job No.  
Q19004  
Contractors Drawing No. (if required)

Urban Design & Building Services

Sandwell Council House  
Freeth Street, Oldbury.  
B69 3DE

Tel: 0121 569 4541

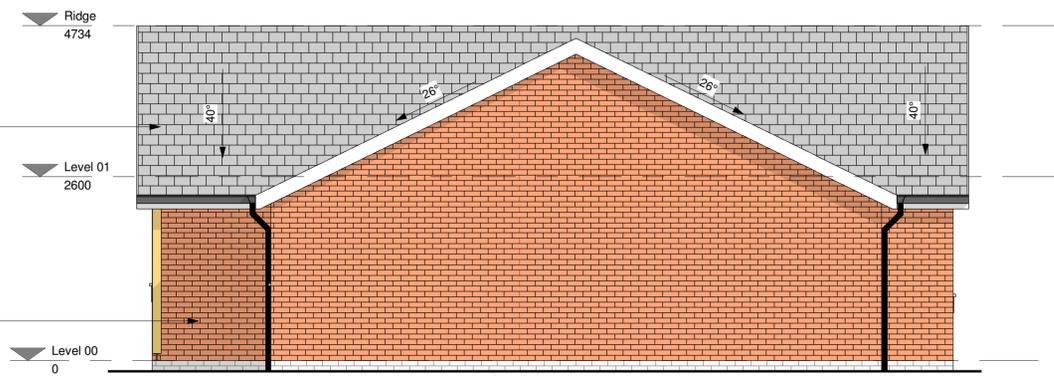




**Elevation South**  
1 : 50

External grade timber post with metal base support to Structural Engineer's design

- Rafters underlined with upvc hollow soffit board, to canopy soffit.
- Russel Grampian Slate Grey. Concrete single lap roof tiles and system.
- grey (RAL7016) upvc fascia with black gutters and downpipes. Include Easy Innovations Hedgehog gutter brush and clips to all gutters.
- Double glazed Upvc windows, side hung with easy clean hinges. External elevation to be coloured grey, RAL7016. White internally. Window openings to provide emergency escape to all bedrooms.)
- Smooth engineering brick cill detail. Type: Smooth Red facing brickwork - Weinerberger Bamburgh Red.
- Brick banding panel with Smooth Red engineering bricks to alternate courses
- Smooth Red engineering bricks below dpc
- grp 'secured by design' front door as shown or similar. Obscure glazing to front door. Pilkington Cotswold (level 5), with level threshold

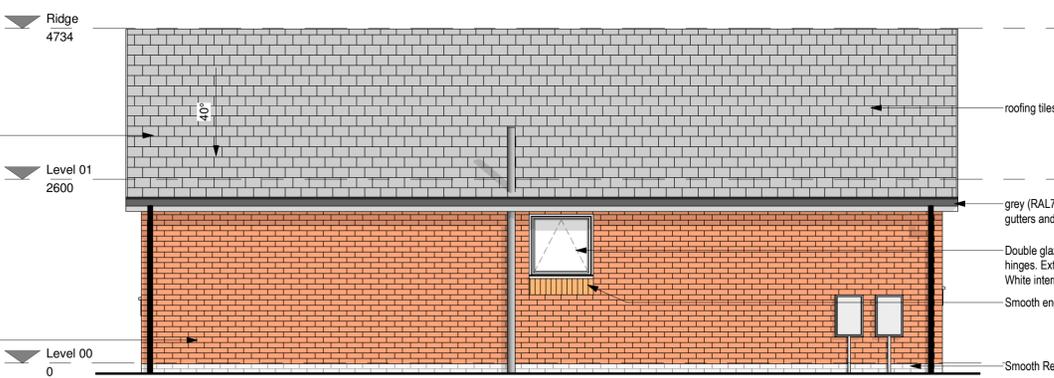


**Elevation East**  
1 : 50



**Elevation North**  
1 : 50

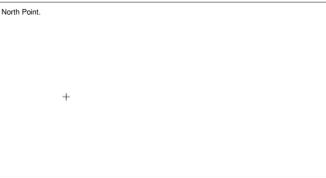
- Russel Grampian Slate Grey. Concrete single lap roof tiles and system.
- grey (RAL7016) upvc fascia with black gutters and downpipes. Include Easy Innovations Hedgehog gutter brush and clips to all gutters.
- Double glazed Upvc windows, side hung with easy clean hinges. External elevation to be coloured grey, RAL7016. White internally. Window openings to provide emergency escape to all bedrooms.)
- Smooth engineering brick cill detail. Type: Smooth Red facing brickwork - Weinerberger Bamburgh Red.
- below floor ventilation.
- Upvc 'secured by design' rear door as shown or similar with level threshold



**Elevation West**  
1 : 50

- roofing tiles - colour and texture to be confirmed
- grey (RAL7016) upvc fascia with black gutters and downpipes
- Double glazed Upvc windows, side hung with easy clean hinges. External elevation to be coloured grey, RAL7016. White internally. Frosted Glass.
- Smooth engineering brick cill detail. Type: Smooth Red
- Smooth Red engineering bricks below dpc

Plots 02,  
Handed Plot 01



Issue	Date	Issue Note	By	Check
P05	11-11-21	Brick banding added adjacent front door.	pd	
P04	06-10-21	wall removed from above porch	pd	
P03	30-09-21	Windows changed to top hung.	pd	
P02	10-09-21	Doors updated, Newark and front door.	pd	
P01	24.02.21	First issue for comments	MOR	MOR



Project Title  
Housing Development  
Location  
Hawes Lane, Rowley regis.

Sheet Title  
B5 - Elevations

Status  
Fit for Costing

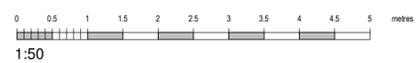
Drawn by	Date	Checked by
MOR	16/02/21	
Scale at A1	Scale at A3	
1:50		

Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
B5	ZZ	AG(05)	01	D1	P05

Job No.  
Q19004

Contractors Drawing No. (if required)

Urban Design & Building Services  
Sandwell Council House  
Fleeth Street,  
Oxburgh,  
B89 3DE  
Tel: 0121 569 4541

























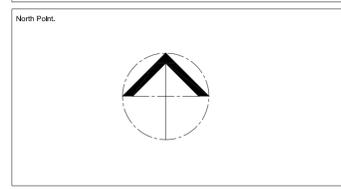




- KEY:**
- Proposed road kerb. Refer to Civil engineers details/ drgs
  - Proposed drop/ dropper kerb. Refer to Civil engineers details/ drgs
  - Proposed edging kerb, refer to Civil Engineers details/ drgs
  - Proposed pre cast concrete slab paving. Tobermore Mayfair paving 400x400x40mm. Refer to Civil Engineers drawings
  - Proposed pre cast concrete slab paving for overrun areas, Tobermore Mayfair paving 400x400x65mm. Refer to Civil Engineers drawings
  - Proposed block paved parking bays: Marshalls Tegula pavers, 240 x160mm, colour Harvest laid herringbone pattern to Civil Engineers drgs/ spec
  - Proposed bound gravel paving
  - Proposed loose gravel paving
  - Proposed steel barrier fencing height 1100mm
  - Proposed steel vertical bar barrier fence height 1800mm
  - Proposed steel railing height 1000mm
  - Proposed 1800mm high steel vertical bar fence
  - Proposed 1800mm high timber close board fence.
  - Proposed 1800mm high timber close board gate.
  - Proposed 1800mm high timber palisade fence
  - Proposed 1800mm high timber hit and miss palisade fence
  - Existing retaining wall
  - Proposed retaining wall
  - Proposed retaining wall topped by 1100mm high steel barrier fence/ handrail
  - Proposed handrail
  - Proposed turf areas
  - Proposed shrub planting
  - Existing tree to be retained
  - Existing tree to be removed
  - Proposed tree planting

**Notes**  
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All trees within the vicinity of the works and which are to be retained are to be protected by temporary protective fencing to BS 5837:2005. All excavation, grading, filling, paving, cultivation, seeding and turf laying works within the root protection areas of the trees as shown on the tree survey drawing are to be carried out by hand. If tree roots are encountered do not sever and obtain further instructions before proceeding. Existing cover levels of inspection chambers, gullies and rodding eyes etc to be adjusted as required. Allow also for the lowering of existing services where required.



**Key Plan**

Rev	Date	Revision Note	By	Check
P0.9	25-10-21	Indicated 3 trees for potential removal - churchyard		
P0.8	14-10-21	Added stepped access off back of pavement to blocks of flats. Amended height of barrier railing to retaining walls adjacent to blocks of flats. Majority of proposed trees removed.		
P0.7	04-10-21	Bungalows re-located. Added fencing near plots 3 and 4. Revised bungalow and flat layouts of 20-20 inserted. Bin type storage amended. Visibility protection areas indicated. E. face fence line amended by parking bay 1.		
P0.6	14-09-21	Amended parking near plots 3-4 and western flats verification		
P0.5	13-07-21	Tree survey day inserted as Key#1		
P0.4	28-04-21	Adjusted flat positions to the 2m away from tree root protection area. Shortened rear garden plots 5 to 9 and amended path, bin store and parking positions		
P0.3	21-04-21	Tree survey inserted as PDF underlay		
P0.2	25-03-21	Flats moved additional 1m from Ash tree and revised parking		
P0.1				

Project	Proposed Housing Development				
Location	Hawes Lane Cradley Heath				
Sheet No.	Proposed fence layout				
Status	Planning				
Drawn by	HH				
Date	18-01-21				
Checked					
Scale at A1	Scale at A3				
1:200					
Sheet Number					
Zone	Level	Classification	Sheet No.	Subsidiary	Ver/Rev
00	XX	L-G(9-)	01	S2	P0.9

Job No. Q19004  
 Contractors Drawing No. (if required)

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 Sandwell Council House  
 Fourth Street, Oldbury,  
 B69 3DE  
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